

W A F F L E  
H O U S E ®

501 EAST INNES STREET  
SALISBURY TOWNSHIP, ROWAN COUNTY  
SALISBURY, NORTH CAROLINA



FINAL DRAWING  
NOT RELEASED FOR CONSTRUCTION  
FOR REVIEW/APPROVAL ONLY

DMP PROJECT 120194  
OCTOBER 2012

DAVIS • MARTIN • POWELL **dmp**  
ENGINEERS & SURVEYORS

6415 OLD PLANK RD, HIGH POINT, NC 27265 | T: (336) 886-4821 | F: (336) 886-4458 | WWW.DMP-INC.COM | LICENSE: F-0245

**SURVEY LEGEND**

	BENCHMARK		NEW IRON PIPE
	CATCH BASIN		POWER PEDESTAL
	CLEAN OUT		POLE
	DROP INLET		SANITARY MANHOLE
	ELECTRIC MANHOLE		SHRUB
	GAS MANHOLE		SIGN
	GAS VALVE		STORM DRAINAGE MANHOLE
	GAS METER		TELEPHONE PEDESTAL
	HYDRANT		TREE
	EXISTING IRON PIPE		WATER METER
	JUNCTION BOX		WATER MANHOLE
	LAMP		WATER VALVE
	MAILBOX		WELL
	MONUMENT		COMPUTED POINT
ADJOINER LINE		---	
UTILITY EASEMENT		---	
FENCE LINE		--- X --- X ---	
LINE SURVEYED		---	
OVERHEAD POWER		--- OH --- OH ---	
RAILROAD TRACKS		+ + + + +	
RIGHT OF WAY		---	
SANITARY SEWER		--- S --- S ---	
STORM SEWER		---	
TREE LINE		~ ~ ~ ~ ~	
WATER LINE		--- W --- W ---	

**DEMOLITION LEGEND**

	TO BE REMOVED
	TO BE REMOVED/RELOCATED

**PROPOSED LEGEND**

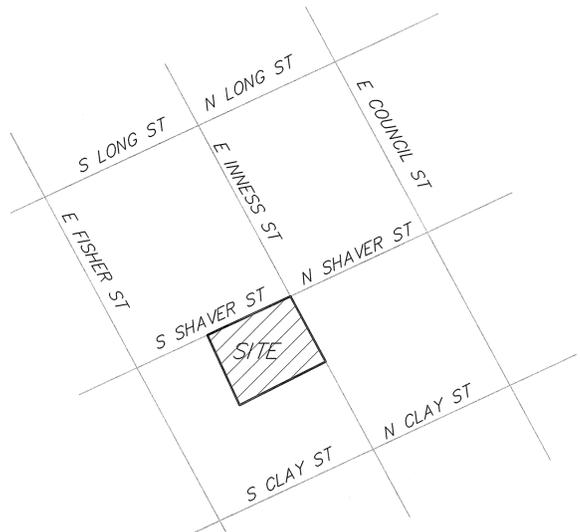
MANHOLE	
HYDRANT	
WATER METER	
WATER VALVE	
CLEANOUT	
INLET	
TEE	
90° BEND	
45° BEND	
GUARDRAIL	
STORM PIPE	
LIMITS OF CONSTRUCTION	

**PAVEMENT HATCHING LEGEND**

	HEAVY DUTY PAVEMENT
	LIGHT DUTY PAVEMENT
	CONCRETE
	GRAVEL
	REINFORCED CONCRETE

**EROSION CONTROL LEGEND**

	TEMPORARY SILT FENCE
	TEMPORARY EARTH BERM
	PERMANENT EARTH BERM
	TEMPORARY SLOPE DRAIN
	MATTING MATERIAL
	TEMPORARY CONSTRUCTION ENTRANCE
	TEMPORARY INLET PROTECTION
	TEMPORARY ROCK CHECK DAM
	TEMPORARY ROCK OUTLET
	DISSIPATER
	DOUGHNUT INLET/OUTLET PROTECTION



VICINITY MAP  
NOT TO SCALE

**SHEET INDEX:**

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**DEMOLITION NOTES:**

- OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL JURISDICTIONAL AUTHORITIES PRIOR TO ANY LAND DISTURBANCE. MAINTAIN COPIES OF ALL APPROVED PERMITS AND PLANS ON-SITE AT ALL TIMES DURING DEMOLITION OR CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL COORDINATE WITH RESPECTIVE LOCAL UTILITY COMPANY FOR REMOVAL/RENOVATION OF UNDERGROUND GAS, AND OVERHEAD POWER.
- THE EXISTING WATER LINE SHALL BE REMOVED TO THE EXISTING METERS. THE 1" DOMESTIC METER SHALL REMAIN FOR USE IN NEW CONSTRUCTION. REMOVE ONE METER PER CITY OF SALISBURY STANDARDS.
- THE EXISTING SANITARY SEWER SERVICE LATERALS, CLEAN-OUTS AND THE EXISTING GREASE TRAPS WILL REMAIN FOR USE IN THE NEW FACILITIES. SPECIAL CARE MUST BE GIVEN TO ENSURE PROTECTION OF EXISTING SERVICES.
- REMOVE EXISTING BUILDING, FOUNDATION AND FOOTINGS. REMOVE EXISTING PAVEMENT AND CURB AND GUTTER ONLY WITHIN LIMITS PROVIDED ON THE DEMOLITION PLAN. EXISTING DRIVES TO REMAIN.
- ALL DEBRIS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED CONSTRUCTION DEBRIS LANDFILL. NO DEBRIS WILL BE ALLOWED TO BE BURIED ON SITE.

**CONSTRUCTION SEQUENCE:**

- CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO BEGINNING DEMOLITION AND GRADING. EXISTING DRIVE ON SOUTH SHAVER STREET TO BE UTILIZED AS CONSTRUCTION ENTRANCE.
- CONTRACTOR SHALL PROTECT ALL EXISTING SIDEWALKS, PAVEMENT, UTILITIES FROM DAMAGE.
- ANY DAMAGED WALKS OR UTILITIES SHALL BE REPAIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO DEMOLISH EXISTING BUILDING AND PAVING WITHIN DEMOLITION LIMITS. ALL OTHER PAVEMENT AND UTILITIES TO REMAIN GRADE PAD FOR NEW BUILDING.
- CONTRACTOR TO BEGIN WORKING ON NEW BUILDING.
- CONTRACTOR TO GRADE AREAS FOR NEW PARKING AREA.
- CONTRACTOR TO INSPECT AND MAINTAIN EROSION CONTROL WEEKLY AND AFTER EVERY 1/2 INCH RAINFALL EVENT.
- PAVE NEW PARKING AREA. MATCH EXISTING PAVEMENT GRADE AT TIE-IN.
- STRIP PAVEMENT PER PLAN.
- SEED & MULCH ANY EXPOSED AREAS.
- REMOVE EROSION CONTROL WHEN SITE IS STABILIZED.

**GENERAL NOTES:**

OWNER: WAFFLE HOUSE, INC.  
P.O. BOX 6450  
MIDCROSS, GEORGIA 30091  
PHONE - (770) 326-7068  
CONTACT: BUTCH BAUR

ENGINEER: DAVIS MARTIN POWELL & ASSOC., INC.  
6415 OLD PLANK ROAD  
HIGH POINT, NC 27350  
PHONE - (336) 886-4821  
CONTACT: JAY GUFFEY

CURRENT ZONING: CMX  
DEED REF.: D.B. 1111 PG. 325

TOTAL TRACT CONTAINS 0.48± ACRES, 20,909 S.F.  
EX. IMPERVIOUS AREA = 14636.16 SF 0.366 AC  
PROPOSED IMPERVIOUS AREA = 16187.27 SF 0.372 AC  
PROPOSED BUILDING AREA = 1,875 S.F.  
GROSS FLOOR AREA = 1,690 S.F.  
NET FLOOR AREA = 1,616 S.F.

PARKING REQUIRED:  
EXEMPT FROM PARKING REQUIREMENT PER ORDINANCE

PARKING PROVIDED:  
REGULAR - (9' X 18') 25 SPACES  
HANDICAPPED - (8' X 8' X 18') 2 SPACES  
TOTAL - 27 SPACES

SETBACKS  
FRONT - 10'  
REAR - 10'  
SIDE - 10'

IMPERVIOUS SURFACE = 5,513.94 S.F. = 0.127 ACRES  
DISTURBED AREA = 0.48 ± ACRES

NO CERTIFICATION OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.

ALL CONSTRUCTION TO COMPLY WITH CITY OF SALISBURY STANDARDS.  
NOTIFY CITY OF SALISBURY INSPECTOR 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION.

**SURVEY NOTES:**

BOUNDARY & TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY BY DAVIS MARTIN POWELL & ASSOC., INC., DATED 10-8-12, PH. (336) 886-4821

CONTOUR INTERVAL IS ONE (1) FOOT.

VERTICAL DATUM FOR TOPOGRAPHY IS MEAN SEA LEVEL BASED ON LOCAL BENCHMARK, 604 NAIL IN POWER POLE LOCATED IN THE SOUTHWEST CORNER OF S. SHAVER ST. INTERSECTION ELEVATION 759.40.

THE LOCATION OF UNDERGROUND UTILITIES SHOWN IS APPROXIMATE BASED ON SURFACE FIELD EVIDENCE AND INFORMATION SUPPLIED BY UTILITY AGENCIES. THE SURVEY MAKES NO CERTIFICATION AS TO THE COMPLETENESS OF THE LOCATIONS SHOWN HEREON. APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITY.

THE PROPERTY IS NOT LOCATED IN A 100 YR. FLOOD HAZARD AREA AS DESIGNATED ON F.E.M.A. F.I.R.M. PANEL # 3710566900, DATED JUNE 16, 2009.

TAX PARCEL No. 019-105, 019-106, & 019-111

**UTILITIES:**

WATER:	SALISBURY-ROWAN (704) 638-4458
SEWER:	SALISBURY-ROWAN (704) 638-4458
GAS:	SALISBURY-ROWAN (704) 636-2940
ELECTRIC:	SALISBURY-ROWAN (704) 216-7553

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ENGINEERS & SURVEYORS  
6415 OLD PLANK ROAD - HIGH POINT, NC 27350  
(336) 886-4821 | WWW.DMP-INC.COM | LICENSE # 4045



**EXISTING SITE CONDITIONS**

**WAFFLE HOUSE**

501 EAST INNES STREET  
SALISBURY TOWNSHIP, ROWAN COUNTY  
SALISBURY, NORTH CAROLINA

#	DATE	REVISION DESCRIPTION
1	10-22-12	CITY SUBMITTAL

PROJECT NAME:

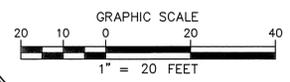
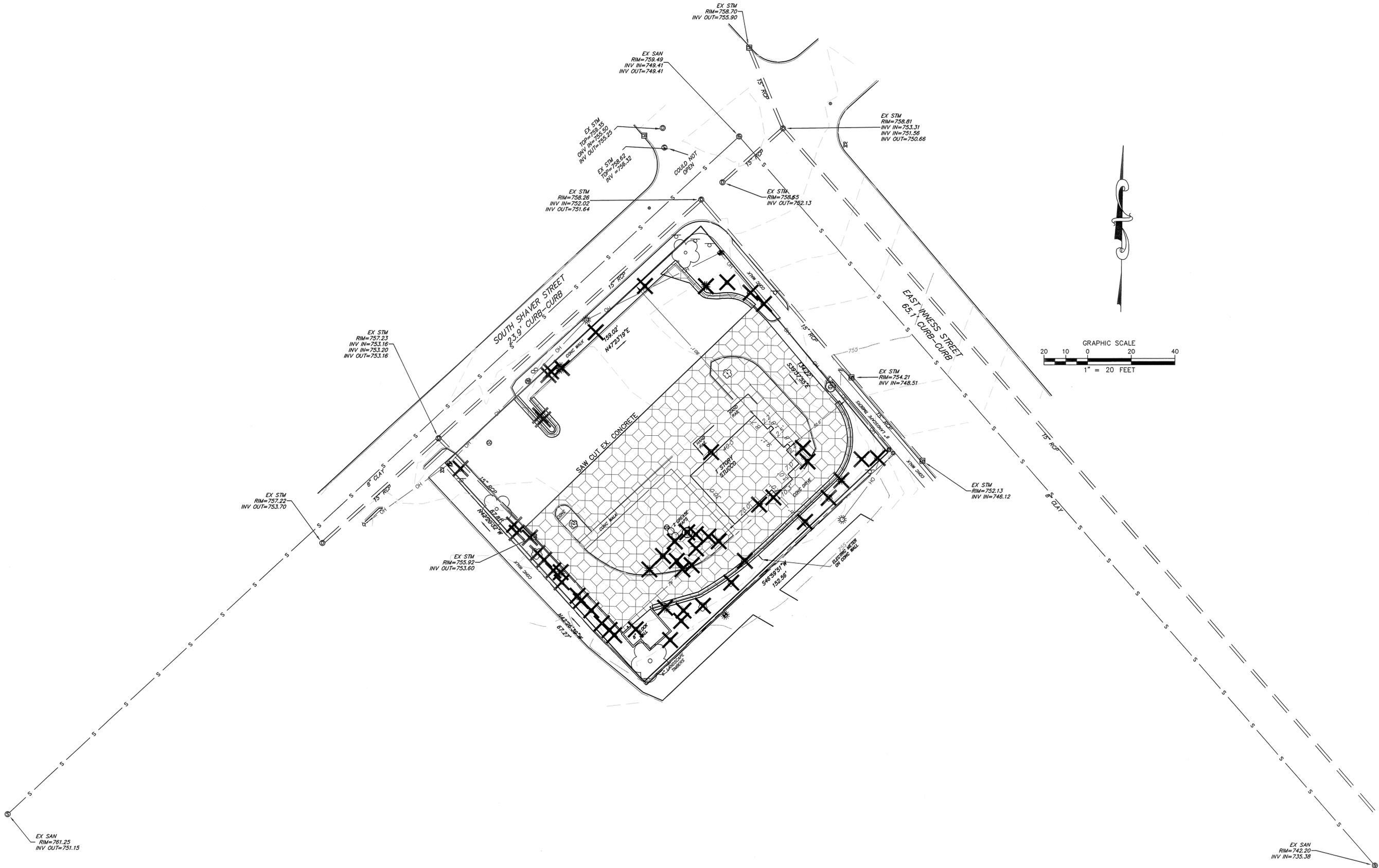
SHEET TITLE:  
**INDEX SHEET**

PROJECT No.	SHEET No.
120194	C-1
DATE:	of
10-22-12	

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6415 E. CLAY BANK RD., HIGH POINT, NC 27356  
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**DEMOLITION PLAN**  
**WAFLE HOUSE**  
501 EAST INNES STREET  
SALISBURY TOWNSHIP, ROWAN COUNTY  
SALISBURY, NORTH CAROLINA

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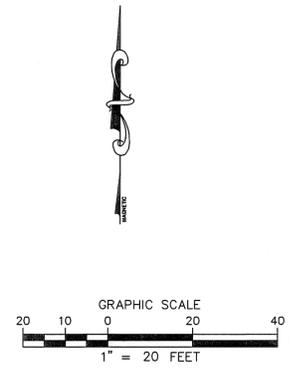
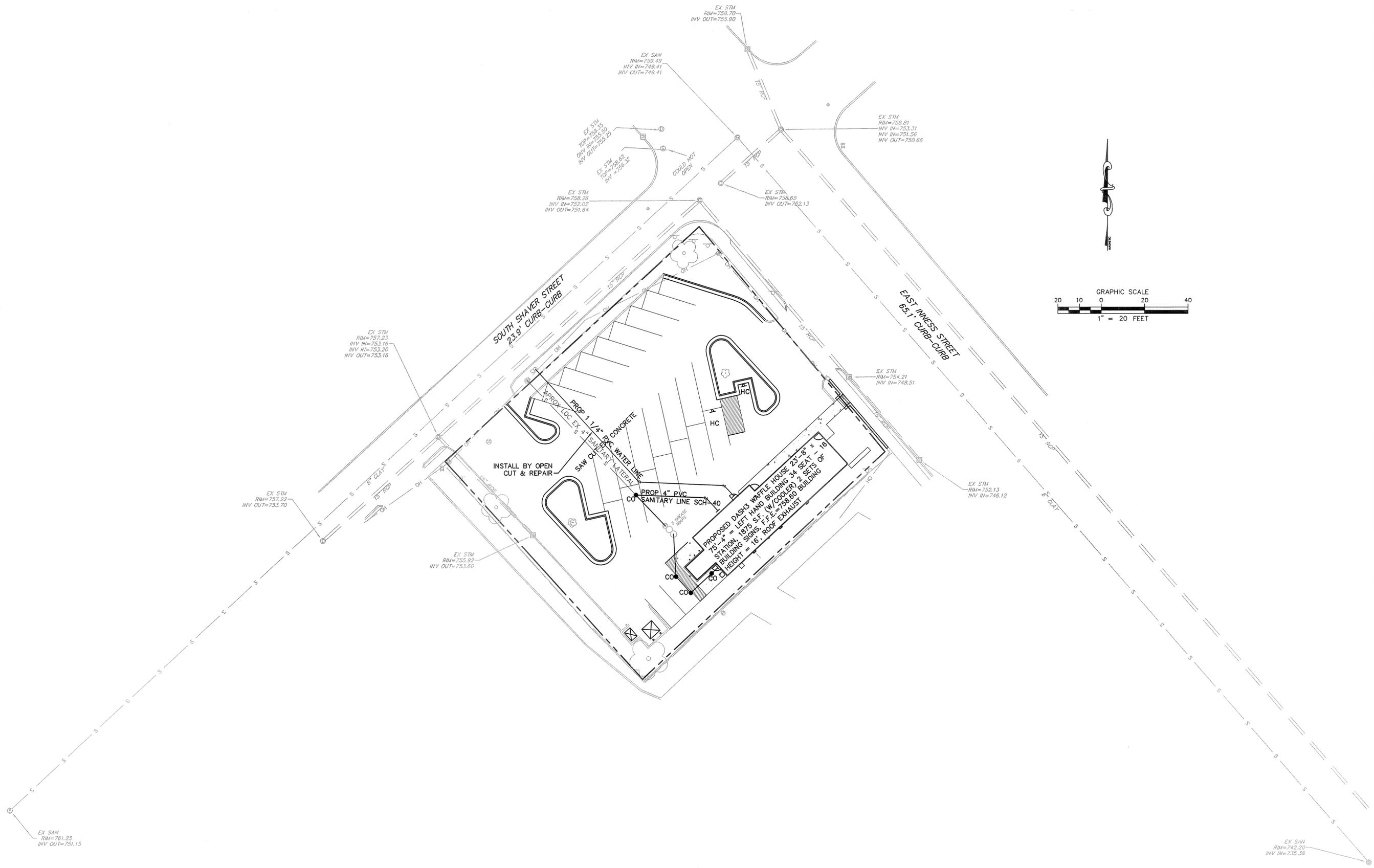
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**DEMOLITION PLAN**

PROJECT No. 120194 SHEET No. C-3  
DATE: 10-22-12 of



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336-884-4611 WWW.DMP-INC.COM | LICENSE: P-046



**UTILITY PLAN**  
**WAFLE HOUSE**  
501 EAST INNES STREET  
SALISBURY TOWNSHIP, ROWAN COUNTY  
SALISBURY, NORTH CAROLINA

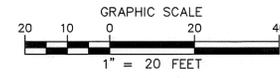
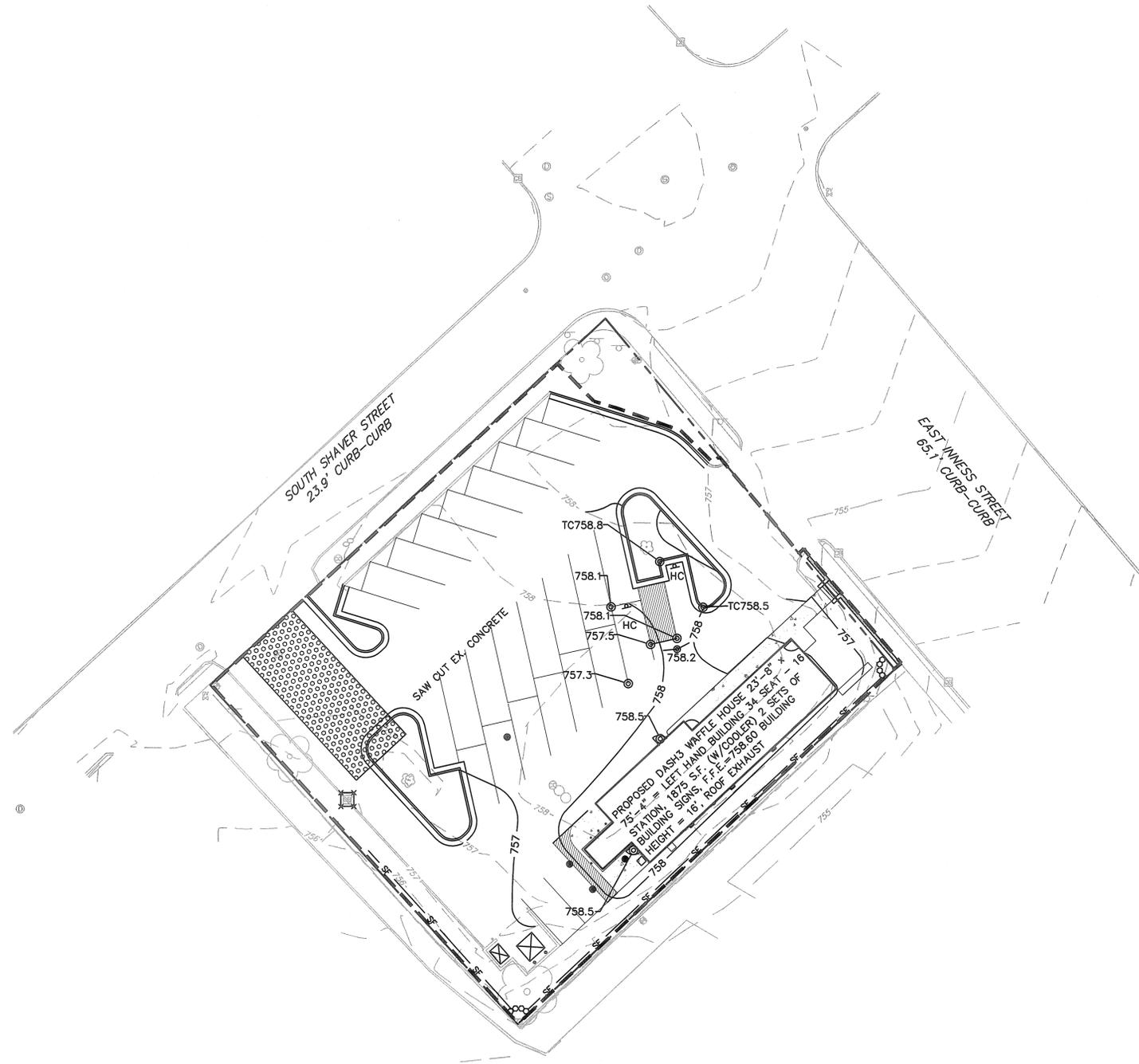
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1	10-22-12	CITY SUBMITTAL

PROJECT NAME:

SHEET TITLE:  
**UTILITY PLAN**

PROJECT No. 120194 SHEET No. C-5  
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#	DATE	REVISION DESCRIPTION
1	10-22-12	CITY SUBMITTAL

PROJECT NAME:

SHEET TITLE:  
**GRADING,  
DRAINAGE,  
EROSION CONTROL  
PLAN**

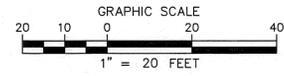
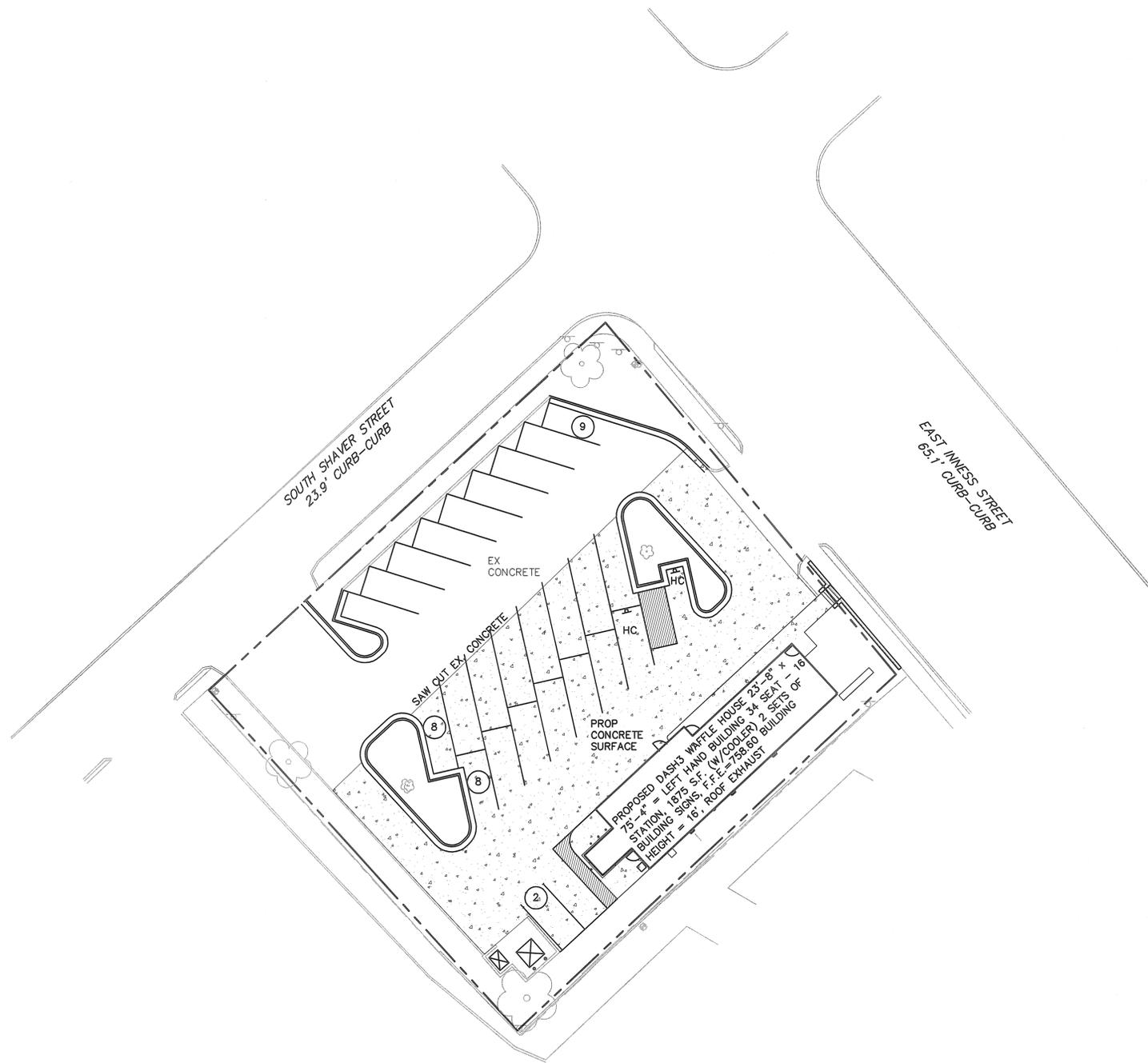
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DATE: 10-22-12 of -

**GRADING, DRAINAGE,  
EROSION CONTROL PLAN**  
**WAFLE HOUSE**  
501 EAST INNES STREET  
SALISBURY TOWNSHIP, ROWAN COUNTY  
SALISBURY, NORTH CAROLINA



**DAVIS, MARTIN & POWELL**  
ENGINEERS & SURVEYORS  
1515 SOUTH MAIN STREET, SUITE 100  
SALISBURY, NC 27167  
(336) 886-4421 | WWW.DMP-INC.COM | LICENSE #048

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1	10-22-12	CITY SUBMITAL

PROJECT NAME:  
 SHEET TITLE:  
**PAVING PLAN**

PROJECT No. 120194 SHEET No. C-7  
 DATE: 10-22-12 of -

**PAVING PLAN**  
**WAFLE HOUSE**  
 501 EAST INNES STREET  
 SALISBURY TOWNSHIP, ROWAN COUNTY  
 SALISBURY, NORTH CAROLINA



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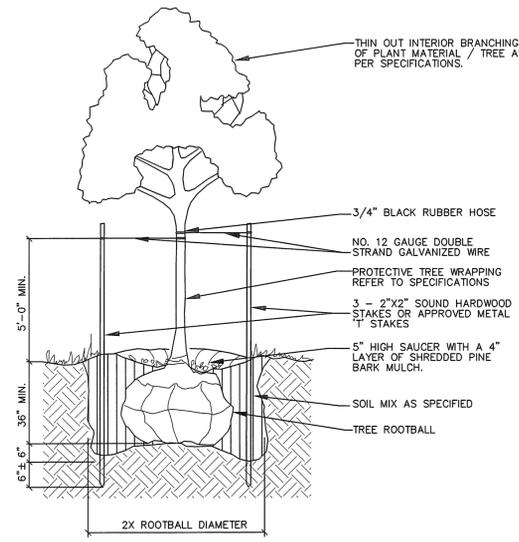
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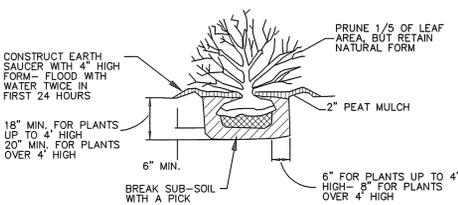
**LANDSCAPE PLAN & DETAILS**

PROJECT No. 120194 SHEET No. C-8

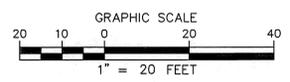
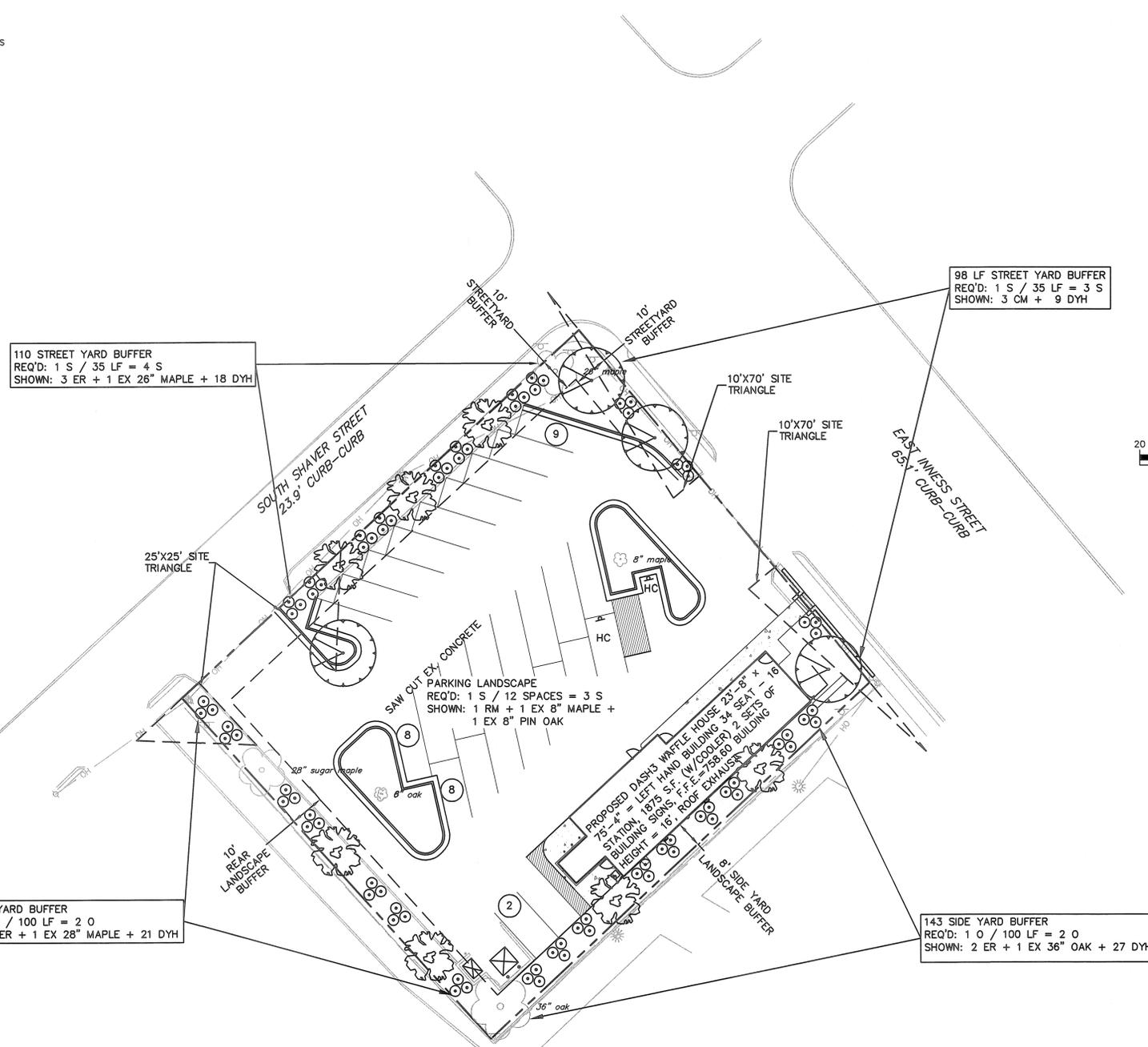
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**TYPICAL TREE PLANTING**  
NTS



**SHRUB PLANTING DETAIL**  
NTS



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**LANDSCAPE NOTES**

- THE LANDSCAPE CONTRACTOR SHALL MAKE HIMSELF AWARE OF EXISTING UTILITIES. HE SHALL NOTIFY THE RESPECTIVE PUBLIC UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- PLANTING BEDS AND PLANT LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL BE CLEARED OF ALL GRASS AND WEEDS PRIOR TO INSTALLATION OF PLANTS, AND SHALL BE CULTIVATED AS SHOWN ON THE PLANTING DETAILS.
- ALL DISTURBED AREAS TO BE SEEDED UNLESS OTHERWISE NOTED.
- PLANTING BEDS SHALL HAVE 4\"/>

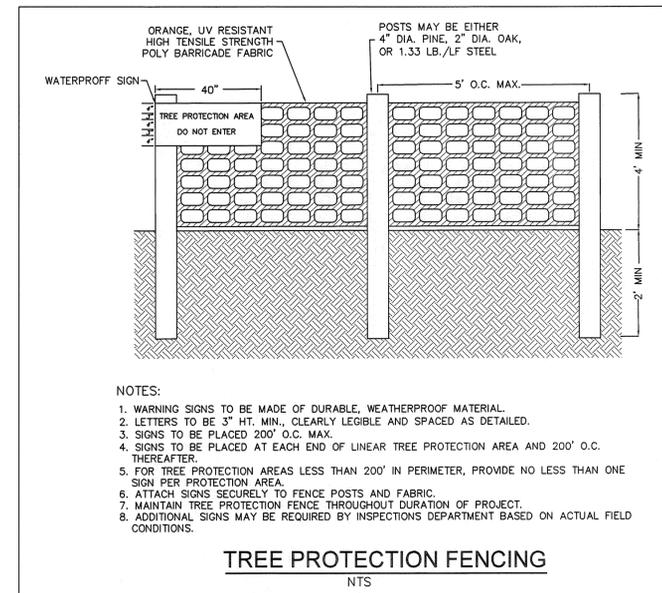
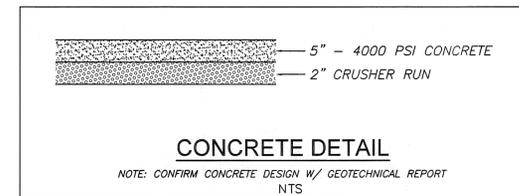
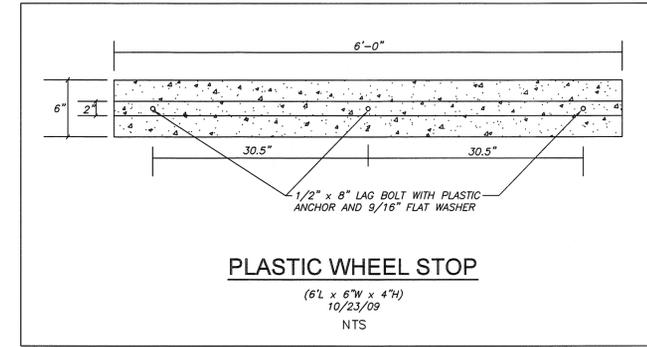
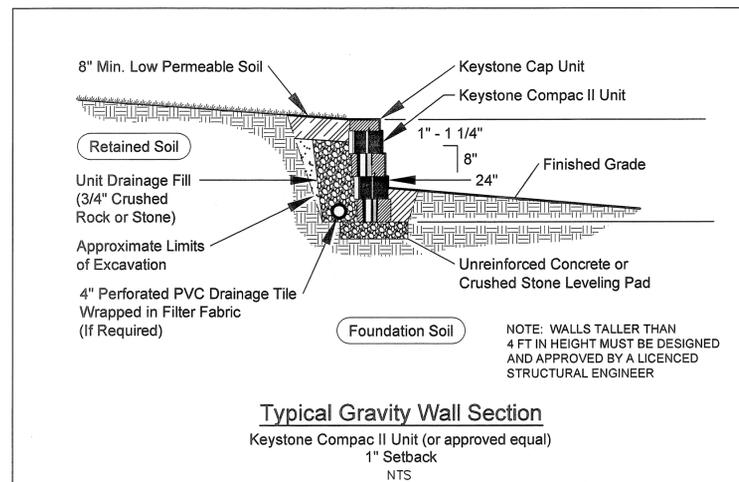
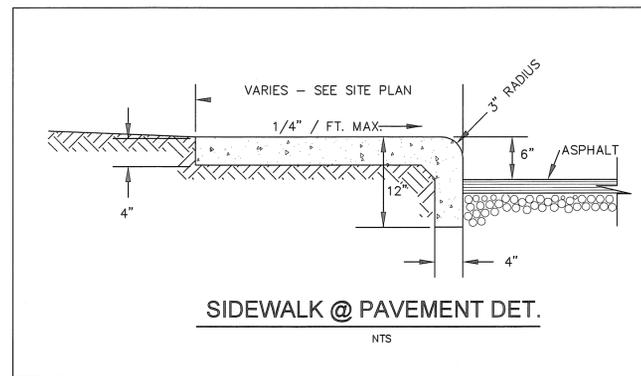
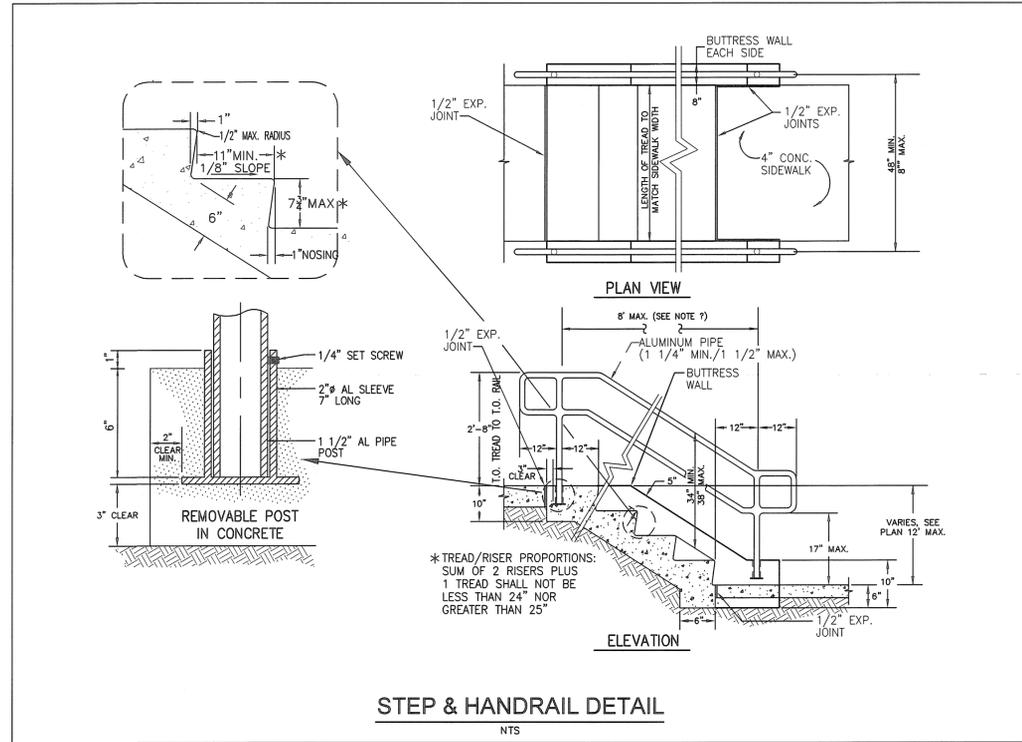
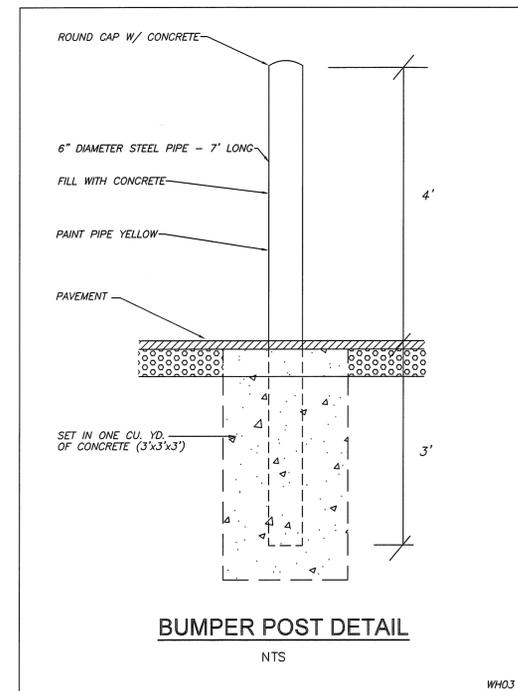
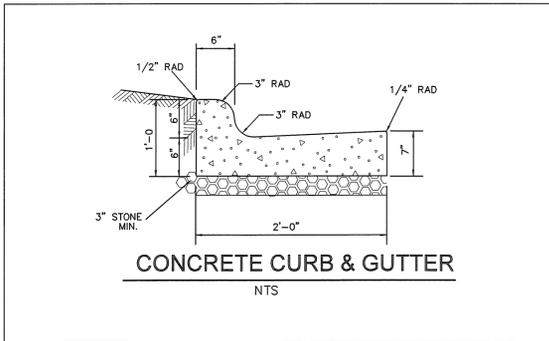
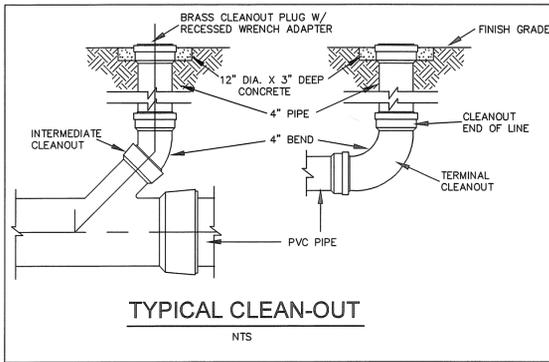
PLANT LIST				
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE CLASSIFICATION	QUANTITY
RM	RED MAPLE	ACER RUBRUM	2\"/>	

S = SHADE TREE - MIN 2\"/>

PLANTING YARD RATE CHART						
YARD TYPE	MIN WIDTH (FT.)	MIN AVG WIDTH (FT.)	MAX WIDTH (FT.)	CANOPY TREE RATE	UNDERSTORY TREE RATE	SHRUBS RATE
STREET YARD	10	10	10	1/35 LF	1/25 LF (A)	(E)
SIDE YARD (B)	8	8	8	(D)	1/100 LF	N/A
REAR YARD (B)	8	8	8	N/A	1/100 LF	N/A
PARKING LOT	N/A	N/A	N/A	(C)	N/A	N/A

- (A) ONLY PERMITTED UNDER EXISTING OVERHEAD POWER LINES  
 (B) REQUIRED POINTS PER LF = 0.4  
 (C) 1 SHADE TREE PER 12 SPACES. MAX DISTANCE FORM PARKING SPACE TO SHADE TRUNK 60'.  
 (D) NOT REQUIRED, BUT MAY BE USED IN PLACE OF ORNAMENTAL  
 (E) NO SHRUB GREATER THAN 3' IN HEIGHT SHALL BE MAINTAINED WITHIN A SITE TRIANGLE

VEGETATION TYPE	POINTS
SHADE TREE	12
ORNAMENTAL TREE	6
LARGE SHRUB	3
MEDIUM SHRUB	2
SMALL SHRUB	1



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ENGINEERS & SURVEYORS  
6416 OLD PLANK RD., HIGH POINT, NC 27605  
(336) 884-8421 | WWW.DMP-INC.COM | LICENSE: F-045



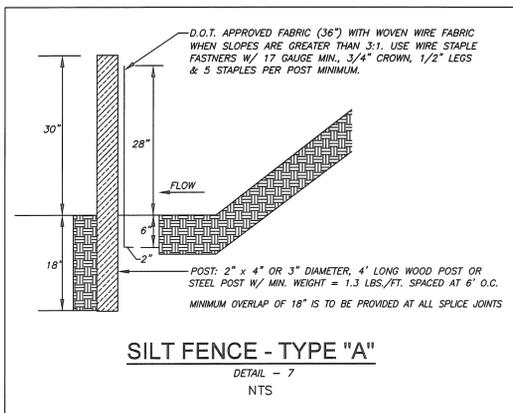
**STANDARD DETAILS**  
**WAFLE HOUSE**  
501 EAST INNES STREET  
SALISBURY TOWNSHIP, ROWAN COUNTY  
SALISBURY, NORTH CAROLINA

NO.	DATE	DESCRIPTION
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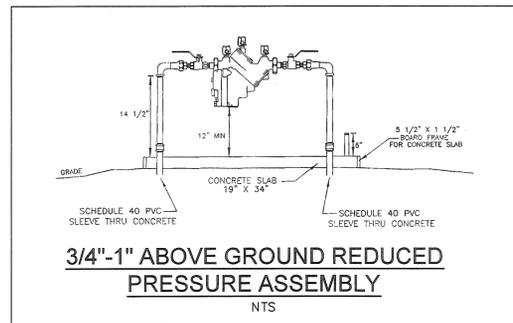
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**STANDARD DETAILS**

PROJECT No. SHEET No.  
120194 C-9  
DATE: 10-22-12 of



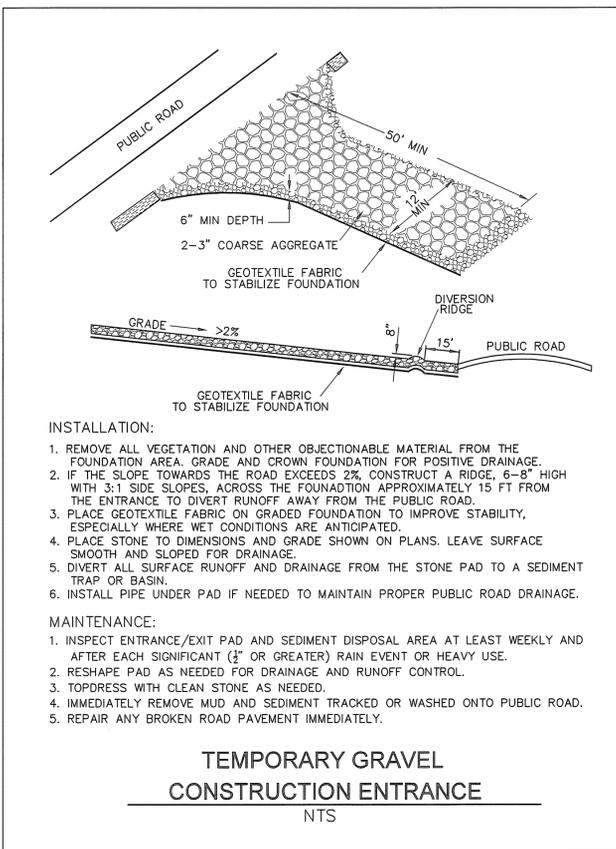
**SILT FENCE - TYPE "A"**

DETAIL - 7  
NTS



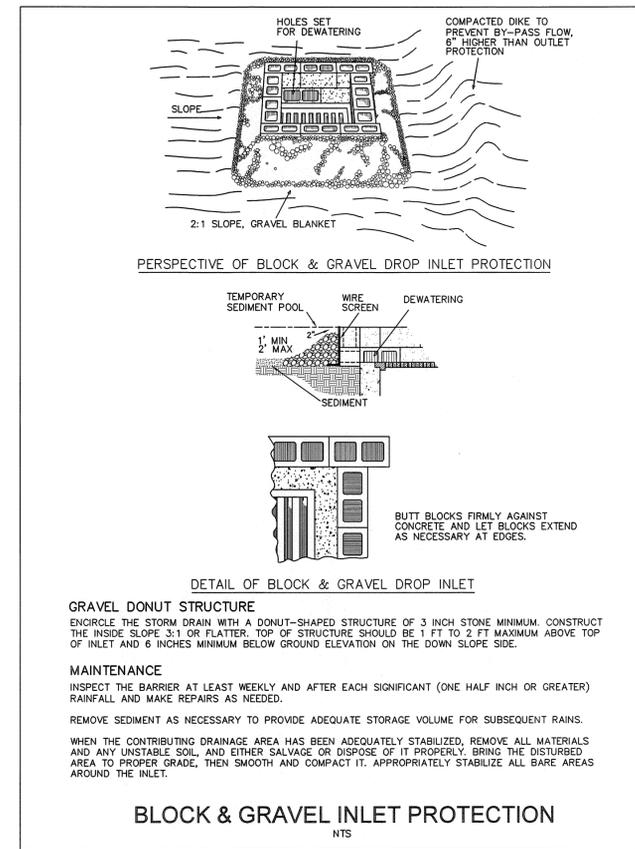
**3/4"-1" ABOVE GROUND REDUCED PRESSURE ASSEMBLY**

NTS



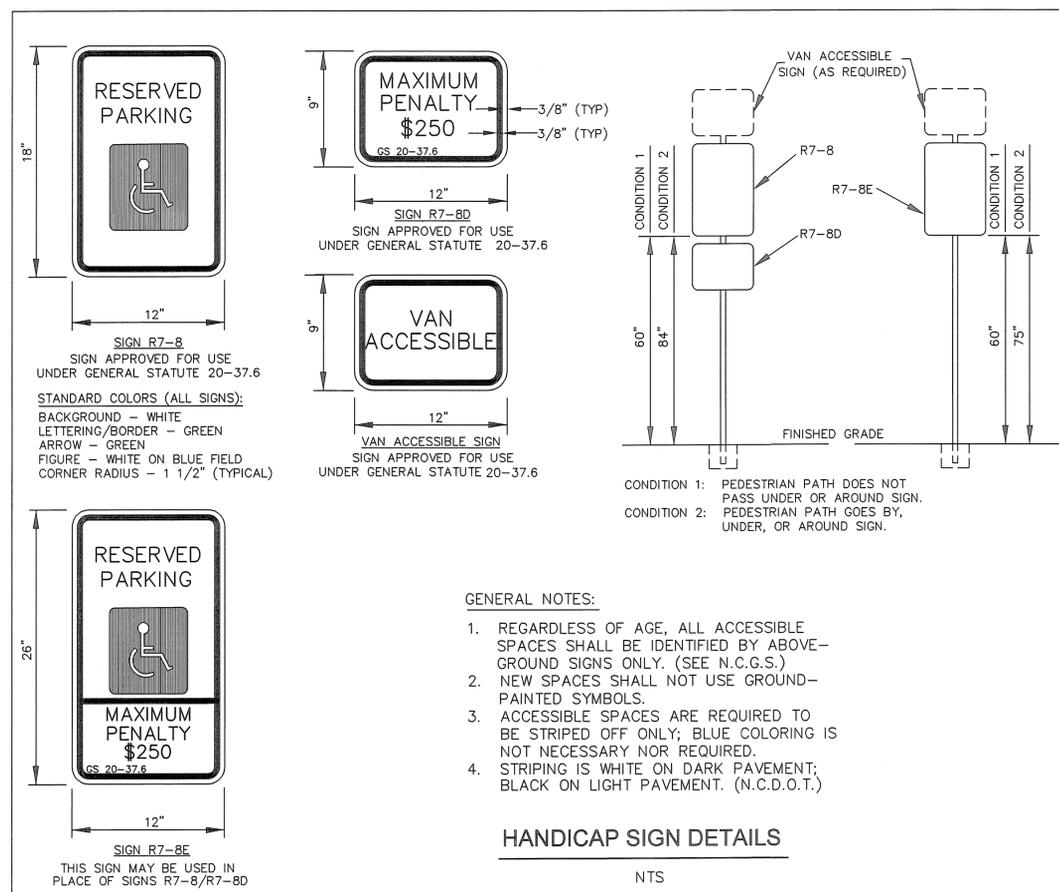
**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**

NTS



**BLOCK & GRAVEL INLET PROTECTION**

NTS

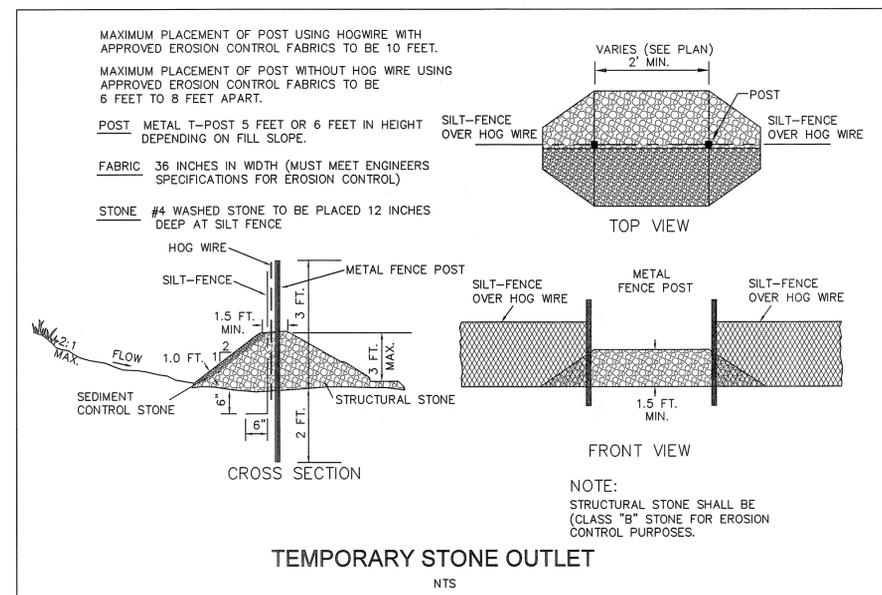


**GENERAL NOTES:**

- REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY. (SEE N.C.G.S.)
- NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.
- ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOR REQUIRED.
- STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (N.C.D.O.T.)

**HANDICAP SIGN DETAILS**

NTS



**TEMPORARY STONE OUTLET**

NTS

DRAWING NAME: P:\2012\120194\CON\20194\_ENG\_C3013.dwg - C-10 EDET - 10/22/2012 12:52 PM

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ENGINEERS & SURVEYORS  
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(336) 888-8621 | WWW.DMP-INC.COM | LICENSE# F-6045



STANDARD & EROSION CONTROL DETAILS  
**WAFLE HOUSE**  
501 EAST INNES STREET  
SALISBURY TOWNSHIP, ROWAN COUNTY  
SALISBURY, NORTH CAROLINA

REVISION DESCRIPTION	CITY SUBMITTAL	DATE
		10-22-12

PROJECT NAME:

SHEET TITLE:  
**STANDARD & EROSION CONTROL DETAILS**

PROJECT No. SHEET No.  
120194 C-10

DATE:  
10-22-12 of

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